



VOP's Commercial 2024 Building Code

Presentation Cliff Notes

Presented on November 5, 2025

by Sean Lintow Sr., CBO, CEA, BCS

Please Note: This document does not cover all changes or how they might impact your project. This is a high-level overview of changes that have been made to the code that correlate to typical work within the Village of Oak Park. Many other changes have been made but are outside the scope of most projects in this area. Please refer to code books and online ordinances for more information.

Pictures used from ICC online code resources may not be reproduced or used without ICC consent.

Effective for work permitted on or after January 1st, 2026:

- IBC, IFC, IEBC, IFGC, IMC, IRC & 2023 NEC
- Don't forget about Installation Manuals, Illinois Regulations (Accessibility, Smoke Detectors, Gender Neutral bathrooms, etc.), VOP Ordinances, Cook County Requirements, Federal Requirements (OSHA), etc.

****** Hint – make sure you list the proper codes**

Chapter 1 – Administration

Please note that even if permits are not required, all the work being done must still be performed to and meet all applicable codes.

VOP - There are 45 items listed where work is exempt from a permit.

VOP - Emergency Work: Emergency work that commences after regular Village business hours to maintain electric, plumbing, sewerage, heating, air conditioning, or other essential utility service shall not require a permit prior to the work being commenced subject to the following:

- (1) The work is performed in conformance with this code;
- (2) A permit is obtained the next regular workday; and
- (3) The work is inspected and approved within 48 hours of permit issuance.

***** VOP Specific – 101.2.1 / Appendices Adopted**

- A: Employee Qualifications
- E: Supplementary Accessibility Requirements
- F: Rodent Proofing
- I: Patio Coverings
- J: Grading
- P: Electrification Requirements for All New Buildings

Section 108: Temporary Structures, Equipment & Systems

- Another rewrite to align code books
- Add ability for some structure to be designed and used for a “year” plus, not just 180 days (not including extensions)
- See Section 3103.6
- Building Official can terminate a permit and order the same to be discontinued
- Definitions added: Public Occupancy Temporary Structure, Service Life, Temporary Event, Temporary Structure

Chapter 2 – Definitions

Additions / Clarifications (51)

- Clarified “Limited Verbal or Physical Assistance” I-1/R-4 Occupancies
- Clarified what “Listed” is
- Updated “High Rise Building” to equal roof level if occupiable not story (still not a full fix) and updated “Occupiable Roof” to exclude repairs / maintenance activities

VOP - Responsible Party:

*Except as may otherwise be specified herein, the owner or the owner's designated agent shall be considered a responsible party for ensuring compliance with this code. **In addition**, any other person or entity that may be reasonably considered to have a role or responsibility in the creation, continuation, or correction of any violation of this code shall be considered a responsible party or additional responsible party for such violation*

Building Planning - Chapters 3 – 6 **(Occupancy, Heights, Areas, Construction Types)**

Chapter 3 - Occupancy Classification and Use

Lithium Ion Batteries - Multiple Changes

- Added Energy Storage Systems (ESS) to F-1 Moderate Hazard
- Battery storage now S1 (311.2)
- Also added to S1 - Auto repair garages doing repairs on EV Cars containing those batteries

Section 307.1: Hazardous Material Exemptions Table

Section 310: Group R

- Cleaned up language and measurements
- Now based on rooms, not occupant count, for “transient” use (VRBO, AirBNB...)
- Does not increase requirements

Chapter 4 - Special Detailed Requirements Based on Use and Occupancy

- High Rise Requirements and stairs 403.5.3
 - Atriums and smoke compartments 404.6
 - 36” Circulation path in “Care Suites”, aka not required to meet corridor / aisle requirements 407.4
 - Measuring height above a stage 410.2 & also .4
- Clarified sprinklers - fire alarms requirements like many other areas in codes to align with IFC

Chapter 5 - General Building Heights and Areas

- Sec 509.1: Incidental Uses
- Bumped up requirements for Ambulatory Care Facilities
- Storage Rooms, Waste and Linen collection areas must now be sprinklered and have a 1-hour fire-wall

Chapter 6 - Types of Construction

Section 602.4: Mass Timber Type IV Buildings

- New section and types in 2021
- IV – A: Fully Protected timbers
- IV – B: Minimal “exposed” timbers
- IV – C: Interior timber can be exposed

Tests available, then limited amount / items that could be left “unprotected” for IV-B.

These amounts have been adjusted along with separation distance / protection requirements.

Clarified only “combustible” materials in concealed spaces be covered in drywall – 602.4.4.3 IV-HT.

Section 603.1: Combustible Materials in Types I & II Const.

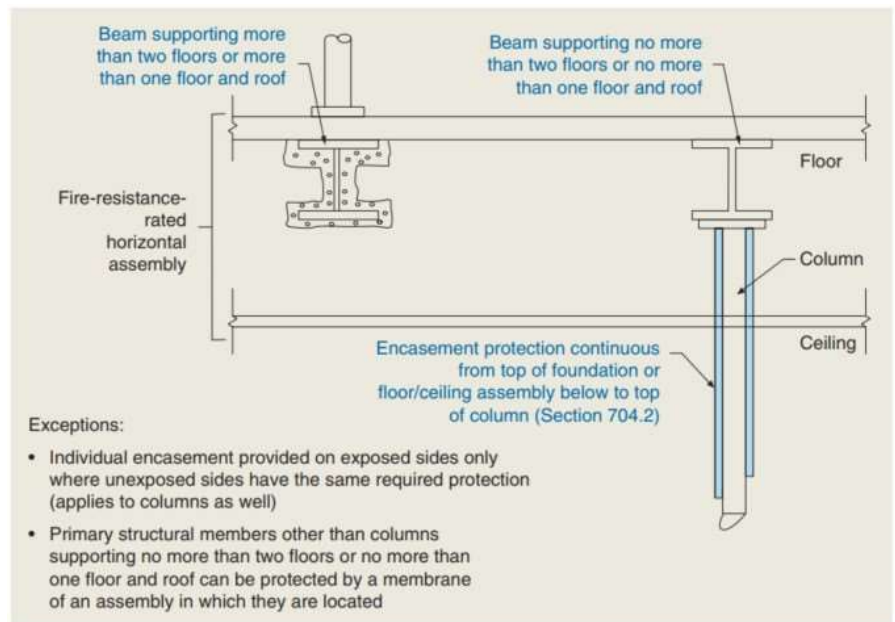
- 603.1 – Added a 28th item for “Vapor Retarders as required by Section 1404.3”
- 603.1.2 Changed from “Piping” only to “Piping & Plumbing Fixtures” – still to be installed per IMC & IPC

Fire Protection **Chapters 7 – 9**

Chapter 7 – Fire Protection

Section 704 - 706: Protection of Structural Members

- Column Protection is deleted (704.2)
- It is replaced with .3 which absorbs said columns and .4 then becomes .3
- While listed as “clarification” it is a substantial clean-up
- 705: .6, .7, .12 – numerous modifications to fire resistance rated exterior wall continuity – all wall/ floor intersections for Type III



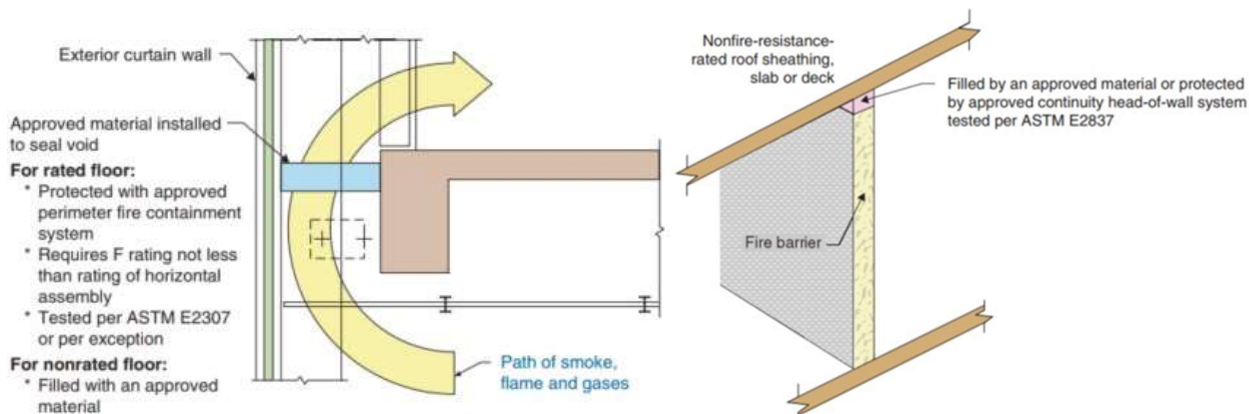
- Only “required” parapets must be fire rated

Chutes & Shafts (Sections 707, 713)

- Shaft Enclosure limitations have a few new exceptions due to impracticality of limits 707.6, 7
- Elevator doors not limited if protected by a fire door assembly
- Also review 708.4.1, 709.4.2, and 710.4.1 for “walls enclosing elevator lobbies” – clarifications
- 713.13.4 Chute Discharge – Clarified and classified door opening fire protection into the chute discharge room using 2 tables 716.1(2)&(3) – gone is wording of “equal to” which many took for fire wall rating

Section 715: Joints & Voids

- 707.8 clarified to all joints in contact with FRRW assembly shall comply with 715
- 707.9 voids at intersections cleaned up and points to 715
- 715.2 – Continuity Head of Wall Systems must be listed and approved
- Added new referenced standard – ASTM E2387-2013 (2017)



Other Items of Note:

- 710.4 – Group I-2 now allowed drop ceilings where... and for I-2&3 penetrations is eased up on ducts 717.6.1
- 714.5.1 – Common sense change allowing certain penetrations in slabs and ramps of parking garages
- 716.2.6.1 – Fire doors and storm shelters added an exception to self-closing
- 717.2 – No running control wires through ducts, dampers unless...
- 19/32 Fire treated plywood now approved as a fire-block --- 718.2.1 (regular ply still 23/32)
- 2x6 wall 24" OC with 5/8 drywall applied vertically (screws 7" OC) with 15/32 plywood is added to “prescriptive fire resistance rated wall assembly” interior only --- Table 721.1(2)
- New assembly added for I-Joists with 2 layers ½" Type “C” drywall --- Table 721.1(3)

Chapter 8 - Interior Wall and Ceiling Finish

Nothing shows in significant changes but... Section 806

- Combustible Lockers, which was added last code cycle, has now moved from 806.9 to .8
- This was because they deleted foam plastic which was .5 and shifted everything down

- Then they then added it back in under Interior Trim 6.1

Chapter 9 - Fire Protection Systems

- Numerous changes
- “Lithium” style batteries and thermal runaway almost automatically triggers sprinklers (903.2 & .3)
- Also see IFC 320, 403.10.6, 903, 1107...
- New requirements for notifications 907.2
- 903.3.1.2 Group R2 with provisions can now be as high as 45’

Sprinklers, Notifications and Standpipes

- 903.4.1 – Now named “Electronic Supervision” and moved the “locked open” exception here to eliminate confusion
- .1 Monitoring has been moved to .2
- .2 Alarms is now .3 and requires audio and visual exterior water flow notification (Except 1 and 2 Family dwellings)
- 905.3 & .4 – Mainly clarifications
- Class 1 standpipes not required in Group R2 townhomes
- Added “or exterior exit stairway” to exceptions
- 905.3.4 now moved to 905.5 – standpipes for stages / not required to have a Class 2 standpipe on both sides of the stage now

Section 907 & 915 - Smoke & CO Alarms

- 907.2.11.3 – Cooking Appliances / Minimum 10’ with only exception being within 6’ if required in Group R’s & I-1
- 907.5 – 520 Hz Low Frequency Audible alarms now added to I-1 sleeping rooms
- 915 – Carbon Monoxide detectors required for all occupancies now where CO source is present and they must be interconnected
- S, F, and U exempt only if not normally occupied
- Lots of other changes including requiring one in each room served by a forced air furnace, rooms by private garages, etc.

VOP Specific – 7-5-1 (IFC)

- 903.2 (multiple) – Bumped from 50 to 100 for automatic sprinkler requirements
- 6109.13 – Exception is removed for bollards for LP Gas containers

Chapter 10 – Means of Egress

VOP Specific: (please refer to full text)

- 1013.5 - Exit signs must be illuminated at all times
- 1006.3 - 2 separate means of egress are required for each story and for occupied roofs with 3 allowable exceptions

- For this section only - An exterior spiral staircase meeting code requirements may serve as the secondary means of egress from roof

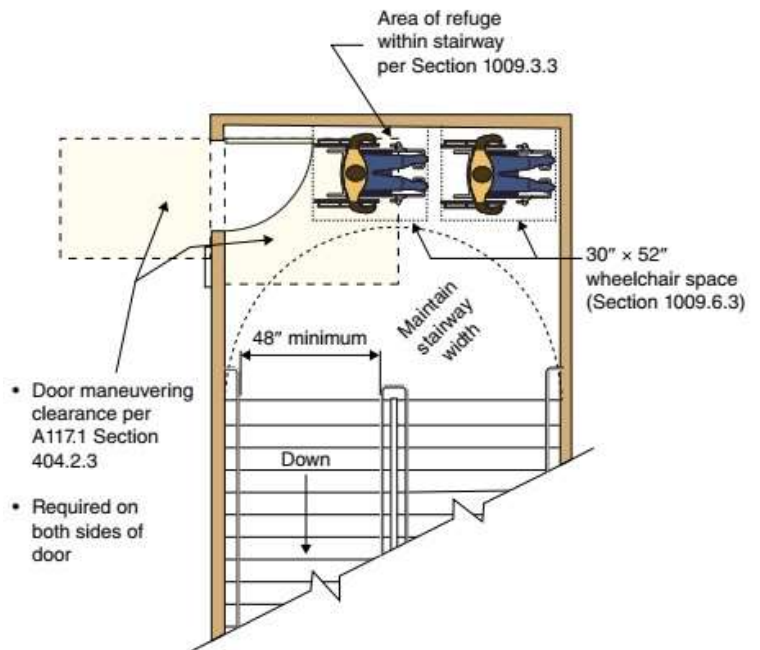
Section 1008: Means of Egress Illumination

- Separated out normal operation and power failure (1008.3)
- Added in Self Storage under 400 SF to exclusions with door to exterior (1008.2)
- Reminder 10 footcandles (108 lux) is required when in use / still only 1 (average) under emergency power to .6 at 90 minutes

Section 1009.2.1: Elevator Required for Egress (see section if applicable)

General rule: Elevators may not be a means of egress (1003.7) / however specific requirement trumps general and it is for “Assisted Rescue”.

Review Section 1009.2.2 - Maneuvering Clearances / Listed as Clarification and applies only if area is used as AOR or for Assisted Rescue (see attached picture).



Section 1010 - Doors

- 1003 headroom now includes: door closers, overhead door stops, frame stops, power door operators, and electromagnetic door locks – 78" and is repeated in 1010.1.1.1 exception
- .1 & .4 – Cleared up exceptions from when the 48" width was removed back in 2021
- 2.4 & 2.5 – Heavily modified section for what may be used and when (Bolts, Locks and Latches)
- 1010.2.6 – Stairway Doors is now 2.6 not 2.7 AND “are permitted to” has been replaced with “shall not” for locked doors at stairwells
 - Added 3 required exceptions to “allow for”:
 - Fire Command Center can unlock via signal
 - Automatically unlock when fire alarm set off
 - Automatically unlock during Power Failure
 - Please note, it must unlock, not unlatch as remaining closed is required to prevent smoke and fire from entering the stairwell

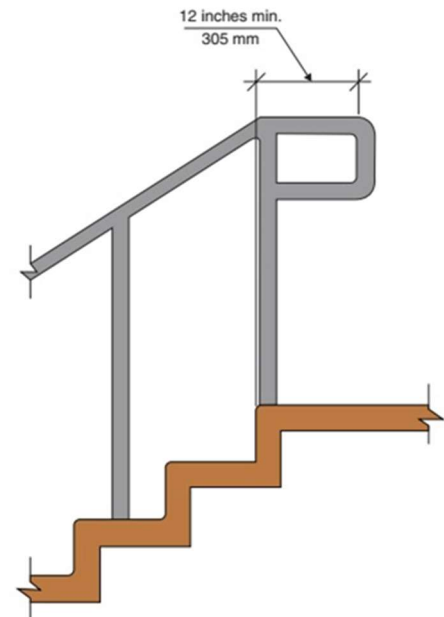
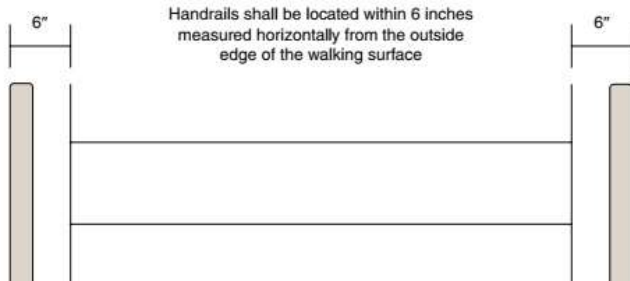
1010.2.9, 2.14, & 3006.4 - Security & Egress

- Access Control Systems 1010.2.9 - These are allowed provided one can egress when needed – Egress side only, not entrance
- Elevator Lobby exit access doors (new)
- Pointed to in 3006.4
- Electronically Locked doors now allowed, assuming you meet all 8 exceptions
- Multiple Egress Doors when I only need 1?
- All must comply – Exception is clearly marked door (s1013) and natural flow of traffic must be channeled via ropes or other barriers

- Egress Signage
- Low Level Egress signs now excluded from Group R-1 if fully sprinklered (1013.2)
- Photoluminescent signs require an illumination / charging source per manufacturer's instructions (1013.5.1)

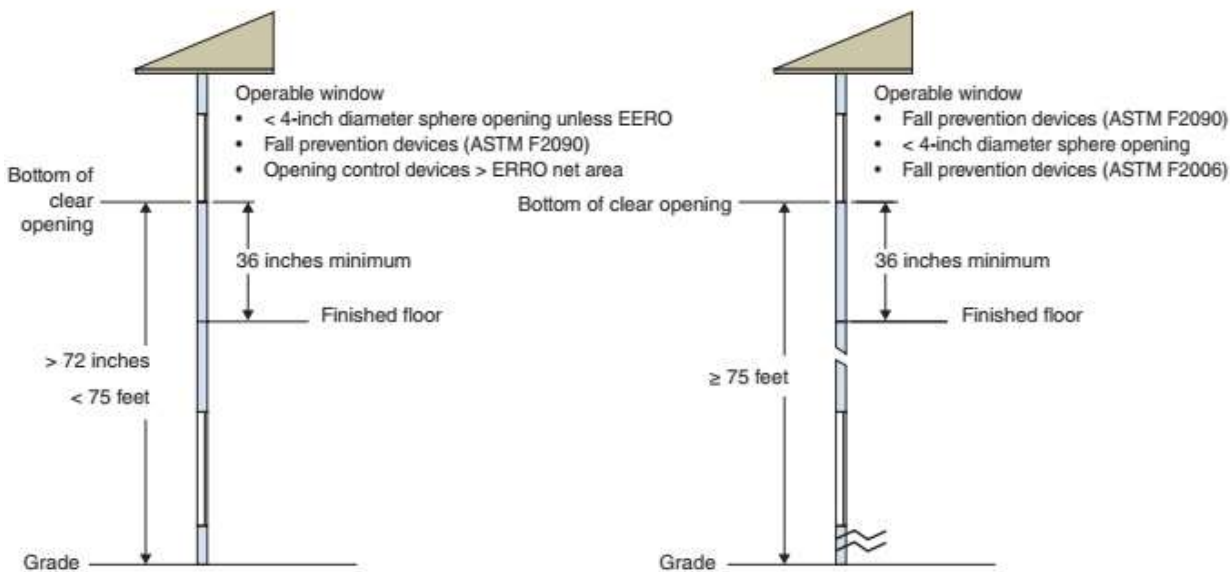
Stairs – 1011.5 (Includes Multi Family)

- The nosing has been removed as point of measurement headroom and handrail. Now it is line connecting the nosings. Still used for riser measurement.
- Nosing projection limited to 1 ¼” unless...
- See 1014.3, .7, and .8 on handrail requirements



Section 1015.8 - Window Openings – R2 & R3

- Clarifications made due to “poorly written language leading to misinterpretation & consistency issues”
- Essentially windows must be 36” above floor height and less than 72” above grade or you follow 1 of 3 fall protection options (see next page)



Other Items of Note:

- 36” guard height exception in R2 & R3 interiors is now limited to 25’ or less in height (1015.3)

- Group H – Adjoining room egress routes clarified (1016.2) and Travel Distances increased (H5 - 1017.2.3)
- Modifications to 1023.7 dealing with nonrated exterior walls with stairwells / ramps
- Modification to 1029.3 wall and opening protection at egress courts – New exception
- Modifications to 1030.9.5 dead end aisles in Assembly Spaces (16 rows now 20' feet, less than 50 seat exception added...)

Chapter 11 - Accessibility

Code Basics - IBC Chapter 11 provides the Scope

The 2018 Illinois Accessibility Code - 71 IAC 400 provides the specifications

<https://cdb.illinois.gov/business/codes/illinoisaccessibilitycode.html>

- R3 added to 1103.2.11 and updated to 1108.6.3
 - Homeowner's unit(s) does not count against total in determining Type A and B Units
 - Brings into compliance with FHA and ADA
- Automatic Doors required for certain occupancies / building occupant load (1105.1.1)
- 1106.3 Parking is based on the "greatest" number for R2, 3, 4 occupancies
- 1106.7 Where parking is provided under a building... was moved from .3 to .7 to clarify all occupancies
- 1107.2 ADA accessible EV charger spots not required for commercial vehicles or motor pools

Baths, Showers, & Changing Stations 1108 & 1110

R1 only: Eliminated requiring "Baths" - Only if all the units in building have showers only (1108.6.1.1)

- R2 only: Added shower requirement for at least one unit when there are 2 or more Type A units required (1108.6.2.2.1)
- Addition: ALL Adult Changing Stations must be ADA compliant. (1110.4 – Includes Voluntary)
 - Four specific circumstances require mandatory adult changing stations
 - See specific prohibitions on location and maximum travel distance requirements
 - Also see 1210.2.3 which requires nonabsorbent surfaces 2' past each end and 6' up

Addition: Accessible Laundry Equipment has been relocated from Appendix Section E to 1110.6

Addition: Designations aka room signage has also been relocated from Section E to 1112.6

Building Envelope, Structural Systems, and Construction Materials **Chapter 12 – 26**

Chapter 12 - Interior Environment

Added: 1211 UV GERMICIDAL IRRADIATION SYSTEMS with new standard: UL 8802-2020 Outline of Investigation for Germicidal Systems

Section 1202.3 - Hot Roof Systems

- Table used to require minimum of R20 air impermeable insulation
- Now modified to be a set percentage of Required R-Value (40%) 2024 – R49 = R19.6 (3")

Section 1208 - Dwelling Unit Size

- 70 SF for sleeping “units” (aka rooms) and other habitable areas still exists, along with minimum 7’ width, & 3’ egress / hallway
- Minimum habitable space for a dwelling unit – 190 SF (1208.3 – includes efficiency units)
- Minimum of 1 room must have at least 120 SF of floor area

Chapter 13 – Energy Efficiency

Major scope & intent changes.

C105.2 – Construction Documents has been expanded & reorganized

- 5. Air sealing & barrier details
- 6. Thermal Bridges C402.7
- 15. Pathways for solar to electric panels
- 16. Reserved space for inverters, metering equipment and ESS
- 17. Designated location and layout for ESS
- 18. Rated “capacities” for installed or “planned” ESS

76 New & Revised Definitions - Many deal with Thermal bridging – new section 403.1

402.6 – All about air

- .1.2.2 – Electrical and communication boxes that “penetrate” air-barrier...
- Major modifications to .2 Air Barrier Leakage Compliance
 - Must be tested by 3rd Party
 - Rates have dropped from .4 to .35 cfm/ft² for whole building / .3 to .27 for dwelling / sleeping units @75pa
 - Sampling – minimum 20% or 7 units
 - Numerous exceptions removed

403 – Mechanical Systems

- Compliance Options expanded:
 - Prescriptive 403 or
 - TSPR 409 – Total System Perf. Ratio
- .4.7 – Interlocks reduced to 5 minutes and clarified “openings” also means regular doors (see exceptions)
- .4.8 – Added in Humidification & Dehumidification controls + interlocks
- .7.1 Modified Demand Control Ventilation mandating it for most projects (see exceptions)
- .7.8 – Added in Occupied Standby Controls

Other Items of Note

- 404.4 – Water Heater insulation requirements
- 405.2.10 & 3.3 – Lighting and switched outlet required for all hotels, motels, “vacation timeshare properties” and congregate living facilities (Includes AirBNB / VRBO / ???)
- 405.13 “Energy Monitoring” for 10k+ SF buildings expanded, includes Total HVAC, Process Loads, Misc Loads and Water Heating
- 405.15 – Mandatory Renewable Energy systems or...
- 406 - Increased Compliance/additional energy efficiency credit reqs (prescriptive)
 - Can include White Box buildouts, Change of Use – also see 408 for Commissioning, Functional Testing
- See 407 for Simulated Building Performance reqs
- 2021 Energy Code Label will work though you need to list the correct code / path
- Do not forget all other required commissioning documents, startup and other testing required / See 408.2.4 compliance checklist

Chapter 5 – Existing Buildings

- 502 & 503 – Additional Energy Efficiency credits for Additions (2) and Alterations (3)
- 502.3.8 “Additions” require Renewable Energy
- 504 – Repairs

Appendices - None adopted so they do not apply

Exterior Walls - Chapter 14

Items of Note:

- Scope – Addition of Soffits & Fascia plus complete new section 1410 (1 sentence – comp decking)
- 1402.8 – Addition for “Vertical & Lateral Flame Propagation Compliance Methods”
- 1403.13 & 1404.19 – Added in “Fiber-mat reinforced cementitious backer unit” w/ installation directions
- DEF & 1403.14 – Insulated Vinyl Siding added
- DEF & 1409 – Complete new section covering Insulated Metal Panels w/modifications made to 2603.4.1.4
- Section 1404.3 Vapor Retarders / numerous changes and new definition for “Responsive Vapor Retarder” and “shall be allowed on the interior side of any frame wall in all climate zones.”

VOP Specific 1407.5.1 - Height Above Grade

EIFS other than ultra-high impact systems shall not be installed closer than 8 feet to finished exterior grade. High impact EIFS systems shall be provided with high impact glass fiber reinforcing mesh tested in accordance with ASTM E2486 for high impact resistance (90-150 inch-lbs. and minimum 15 oz/yd2) in combination with standard mesh.

Chapter 15 - Rooftop Assemblies & Structures

VOP Specific

SECTION 1502 – ROOF DRAINAGE: 1502.1 General. Design and installation of roof drainage systems shall comply with section 1611 of this code and chapter 11 of the 2024 International Plumbing Code appended to this code and re-titled as chapter 36 Storm Drainage.

SECTION 1503 - WEATHER PROTECTION: 1503.6 Minimum Slope. The minimum slope of a roof surface toward gutters, scuppers, roof drains or other water collectors shall be 1/4-inch per foot or the roof shall be designed in accordance with this code.

*SECTION 1507 - REQUIREMENTS FOR ROOF COVERINGS: Section 1507.13 Sprayed Polyurethane Foam Roofing is **deleted in their entirety**.*

Items of Note

- 1502.3 – Roof Drainage Scupper Requirements (2nd Drainage) has been removed. No worries as it is addressed in IPC which was more complete anyways
- Table 1504.9 is now .8 – Wind Resistance of Aggregate Roofs & Parapet wall clarifications
- Section 1507 & 8 – Modifications on wood shakes and shingles roof deck requirements
- 1511.7.6 – New section for LPS (Lightning Protection)
- 1511.9 – New - Raised Deck Systems
- 1512 – Reroofing has a lot of modifications and added in a “no you can’t ignore...”

REMINDER – ILLINOIS Roofing license number *MUST* be on all contracts & proposals

Chapter 16 – Structural Design

Items of Note

- 1604.4 - Diaphragm analysis updates to include “semirigid”
- 1604.5 - Risk Categories Updated:
 - PV Systems – hit all 4
 - Parking Garages
 - Multiple Occupancies – highest risk applies
 - I2, I3, and Public Utilities
- <https://ascehazardtool.org/>
 - 1608: Snow 37# RC I, 52# RC II, 62# RC III, 76# RC IV
 - Ice Thickness = .9” // 1” // 1.5” // 1.5”
 - 1609: Wind Loads = 100 RC I, 107 RC II, 114 RC III, 119 RC IV
 - 1609.5: Tornado Prone Region (Only applies RC III & IV)
 - 1611: Rain Loads – to be used for roof drainage
 - RC I & II based on 100 year, III on 200 year, IV on 500 year
 - 60 Min – 3.06 for RC I & 2 / 3.4 RC III / 3.87 RC IV

- 15 Min aka quick short downburst – 6.35 / 6.88 / 7.56
- 1613: Seismic – B except for RC IV which is C
- Adds new 1613.6 seismic load for sprinklers

Chapter 17 – Special Inspections

1704.2.3... Special Inspections statement listing all the materials and work requiring “Special Inspections” must be provided along with required testing times. (continuous, periodic...)

Code Compliance Block: A schedule of all Special Inspections required with a pointer to the applicable page with all required information. If none is required, you must specify “None Required.” This must be on the title or first page. Refer to Permit Submittal Guide.

Chapter 18 – Soils and Foundations

- 1807.2.5 – New provision added for guards at Retaining Walls
- 1809.6 – Adjoining replaced with Adjacent
- 1809.14 & 1810.3.12 – Modified grade beam requirements for shallow and deep foundations

Chapter 19 – Concrete

Major Updates

Chapter 21 – Masonry

- 2103.2.4 Mortar for use with adhered masonry veneer shall conform to Section 13.3 of TMS 402 (2022 Version)
- Extensive updates made to the 2022 edition of TMS 402, Building Code Requirements for Masonry Structures, to be more “rationally based using a minimum mortar/unit bond strength value”
- Type N or S have been dropped from IBC and are “only permitted when testing is conducted on the specific mortar/unit combination to be used in construction.”

Chapter 22 – Steel

- Major reorg, deletions w/ numerous standard changes: AISI S310 20w/S1-22, ANSI/SDI SD-2022, ANSI/AISC 370-21
- 4 New Additions:
 - 2210 Metal Building Systems - Includes a new definition in 202
 - New Standard – MHI ANSI/MH xx.x adds:
 - 2211 Industrial Boltless Steel Shelving (28.2)
 - 2212 Industrial Steel Work Platforms (28.3)

- 2213 Stair, Ladders & Guarding for Steel Storage Racks and Industrial Steel Work Platforms (32.1)

Chapter 23 – Wood

- 2301.10 – Must use actual dimension for Cross Laminated Timber, everything else is “nominal”
- 2303.2 – Fire Retardant Treated Wood (FRTW) / Now uses ASTM E2768 (test) and adds in treatment adjustment factors (strength)
- 2303.2.6.3 – FRTW adjustment factors for LVL’s
- 2304.6 – Adjusted tables for new wind factors
- 2304.10 – Fire Protection of Connections
- 2305.1 – Wood shear walls & diaphragms
- 2306 & 7 – AWS NDS upgraded to 2024 version
- 2309.1 – AWC WFCM updated to 2024 version
- 2308.11.4 Wind Uplift - Used to be 2308.7.5
 - Mandatory Rafter / Truss ties to the wall below...
 - Major updates to tables and foot notes
 - 24” overhangs are now covered – larger needs an SE

Chapter 24 - Glass & Glazing

3 Major Changes

- 2406.1 – Human Impact Loads
 - Clarified now that all glass including multipane glass assemblies in hazardous glass areas must be “safety glazed”
- 2406.4.3 – Glazing in Windows
 - Modified exception – no longer 25’ but rather 8’ above grade or less requiring safety glazing
 - Added in wording for “adjacent walking surface”
- 2407.1.1 – Loads on Glass Guards & Handrails
 - Modified “factor of safety of four” to actual numbers for “calculated stresses” depending on glass

Chapter 25 - Gypsum & Plaster

Now called “gypsum panel products” not “gypsum board”

Building Services, Special Devices and Special Conditions

Chapter 27 – 33

Chapter 27 – Electrical

2701: Points to the IFC, IPMC & NFPA 70 aka NEC for governing the use and maintenance of electrical components / Points to the IEBC & NEC for alterations, repairs, relocations, replacement and additions...

2702: Emergency and Standby Power Systems – no change

2703: New section for Lightning Protection Systems (where provided)

Reminder Ordinance on Electrification for NEW Construction / State EV Ordinance:

- All electric / no fossil fuels allowed except for emergency backup power and for commercial kitchens
- EV Chargers – Illinois
 - No comm. provision and only for new permits
 - MF (2-4) needs one EV capable spot per unit only if they have designated parking spots
 - LARGE MF (5+) 100 % parking EV capable
 - Also applies to large redevelopments
- EV Chargers – VOP Specific
 - Commercial electric vehicle charging stations are permitted as an accessory use within any parking lot / parking structure in all districts.
 - Each public charging station space must be posted with a sign indicating the space is only for electric vehicle charging purposes.
 - A minimum of one level 2 electric vehicle charging station at each onsite parking area shall be installed for every 5 parking spaces. One charging station may serve an adjacent pair of spaces (VOP).
- EV Charger - Other
 - See NEC S.625
 - NEC 220.53 & 57 – EVSE are not motors / no 75% reduction and must be listed at 9600 watt or nameplate rating, whichever is greater.
 - The installer shall notify the State of Illinois of the installation and register with the utility.
 - A Com Ed Modification & Relocation Service Application may be required.

VOP Specific 2701.1 Scope

- Added to 110.26: The working space and access shall be entirely on the legal property which the equipment serves or public right-of-way. (watch clearances)
- Added 210.50 (G): Provide minimum of one receptacle outlet on the outside of each garage... (WR/TR with in-use cover)
- Added to 314.27 (C): Where a lighting outlet installed in the ceiling of a dwelling unit is located such that the location makes it feasible to attach a ceiling fan to the outlet box, the outlet box shall be listed for sole support of a ceiling suspended (paddle) fan, **regardless of the initial intentions of use for the outlet box.**

110.26 – Spaces About Electric Equipment clarifying statement added that open doors to equipment may not block or impede egress (open into doorway)

110.29 – Updated “In Sight From” - must be visible and within 50'

210.8 GFCI Protection - must be the plug or breaker – doesn't matter if appliance has it built in

- (A)(6)(7) Dwelling Unit Kitchens – Clarifies ALL Outlets: Areas with a sink and permanent provisions for either food preparation, beverage preparation, or cooking

- (B)(2)(3)(4)&(7) Non-Dwelling Unit Kitchens – SAA where they also added in Beverage Preparation like above along with buffet, cord & plug... (applies to break rooms)
- (B)(13) Aquariums and similar items within 6' (already enforced as any area that could possibly be exposed to water)
- (D) Specific Appliance List now includes electric ranges, wall mounted ovens, clothes dryers and microwave ovens
- Also See 680.5, .12(B), 22(A)(4) for Swimming Pools, Fountains...

210.12(D) Arc-Fault

- Any room that might be used for sleeping – specifically calling out fire stations, police... Also please note if bathroom is part of a “suite” it must also be protected
- 210.17 Guest rooms and suites (hotels, motels, assisted living facilities) with provisions for cooking must meet residential requirements

Location	Requirment	Location	Requirment
Basement (Finished)	Combo	Laundry (120)	Combo
Basement (Unfinished)	GFCI	Laundry (240)	GFCI
Bathroom	GFCI	Library	AFCI
Bedrooms	AFCI	Living Rooms	AFCI
Closet	AFCI	Mechanical Equipment	GFCI
Den	AFCI	Mud Room ***	Combo
Dining Room	AFCI	Outdoor (120)	GFCI
Dishwasher	Combo	Outdoor (240)	GFCI
Family Room	AFCI	Parlor	AFCI
Entry Foyer ***	Combo	Rec Room	AFCI
Garage (120)	GFCI	Refrigerator	AFCI
Garage (240)	GFCI	Small App. Circuit	Combo
Hallway	AFCI	Sump / Ejector	GFCI
Kitchens (120)	Combo	Sunroom ***	Combo
Kitchens (240)	GFCI	Washer / Dryer	Depends

*** Wet areas need GFCI along with anything within 6' of water source

Say hello to 10-amp circuits - 210.23 & 24, 240.4, 310.3, & 406.3

- Mainly added to allow copper clad and smaller wires – however those wires were not approved so there go the savings
- May only be used for lighting, residential exhaust fans, gas fireplace

210.70 Lighting

215.15 Barriers (Feeders)

215.18, 225.42, 230.67 - Surge Protection Devices now required:

- Dormitory units
- Guest rooms & suites of hotels and motels
- Patient sleeping rooms for nursing homes and limited care facilities

406.4(D)(3) & (4) Replacements - If you replace an outlet and it is required to be GFCI or Arc Fault protected now...

- It must be replaced with that type of outlet (just like TR)
- It must be fed from said type of outlet
- It must be protected by said type of circuit
- 1 small exception for AFCI...

406.12 - Tamper-Resistant Receptacles (essentially if a kid may be there...)

- All Dwelling units, boathouses, mobile homes and manufactured homes, including their attached and detached garages, accessory buildings and common areas
- Preschools & education facilities (not just elementary)
- Medical & Dental: business offices accessible to general public, lobbies, waiting areas... 517.10(B)(2)
- Places of... fitness centers
- Also see 8, 9, 10 for any sort of “assisted” / “group” / “foster”...
- “Agricultural Buildings” accessible to the general public and any common areas
- Appliance Exception added

Other Items of Note:

- Commissioning (refer to definition) which includes Commissioning required – not just testing and witnessed by AHJ / Fire Marshall
- 700.3(A) – Emergency Systems
 - See NECA 90
 - Also see 700.11 for changes on wiring
- 706.7(A) – Energy Storage Systems (except 1&2 family dwellings)
 - See NFPA 855-2020 (also 10’ from lot lines)

Chapter 28 - Mechanical Systems

IMC – VOP Specific: Section 506.6 Exhaust System Discharge. The permit holder shall verify that the exhaust system discharge does not constitute a nuisance as defined... take immediate measures to abate the nuisance or violation...

Section 507.2.11 A type I hood shall be provided with an approved automatic fire suppression... NFPA 17A... NFPA96...

1206.8 Steam Piping Pitch – ...pitched to the boiler or condensate receiver.

306.5 Equipment & Appliances on Roofs or Elevated Structures

- Mandatory railings around the hatch 42" tall – 3 sides
- Mandatory landing 30" deep & as wide as the hatch
- Ladders: 7 – 12" toe space at rung
- Rung Spacing must be between 10 – 14"
- Ladder width minimum reduced to 16" from 18"
- Replacing existing equipment does not trip the above requirements, but installing something "new" does. However, if within 10' of a roof, fall protection is required

401.4 – Removed needing "approval" to use a "factory – built" concentric vent if used in accordance with fan manufacturer instructions.

403.3 – Now one single ventilation rate but it has also been increased for R2, 3, & 4

- Additional Ventilation required for adult changing stations, animal facilities, health care, workrooms
- Remember ventilation based on ASHRAE and not IBC occupant load calcs so #s may not match – also requires 100% exterior air used for ventilation

501.3.1 - For all environmental air exhaust: 3' from property lines; 3' from operable openings, except where the exhaust opening is located not less than 1' above the gravity air intake opening.

501.6 prohibits shared exhaust ducts between dwelling or sleeping units UNLESS the shared duct is kept under negative pressure at all times

504 - See UL 2158A for commercial clothes dryers which now matches residential

505 - Group I1 (.7) & I2 (.8) new domestic range hood requirements added

Commercial Hoods - Grease Duct Test:

- Field test required prior to insulating
- Light test using 100-watt bulb removed 506.3.2.5
- Light test now listed as 1600 lumens 506.3.2.5.1
- OR may perform a Water Spray Test 506.3.2.5.2

507.1 – Added new exceptions for no hood being required

507.1.3 – Naturally drafted appliances may not be in the same room or space as a commercial hood. Separate supply, sealed self-closing door.

508.1 – Makeup air – added exception for "Compensating" hoods and temperature

601.5 Return air may now be taken from closets. (not mechanical)

602 Major rewrite on plenums, items allowed and within limited areas

607.5 Duct penetrations of fire barriers and subducts penetrating shaft enclosures

931 Steam Bath Equipment added

1002.4 Water Heater Pans Required where leaks can cause damage - Already required IPC, IFGC

11 Refrigerants & Piping** – Numerous including labeling for Group A2L and B2L refrigerants...
“WARNING—Risk of Fire. Flammable Refrigerant.” along with “DANGER—Risk of Fire or Explosion.
Flammable Refrigerant.” and for B group “DANGER—Toxic Refrigerant.” (piping outside the mechanical
room)

1209 Added Radiant Tubing (.6) and Snow / Ice-Melt Tubing (.7) including maximum lengths

IFGC

304.1 & .12

- 304.1 General // .12 Protection from fumes and gases
- Where chemicals that generate corrosive or flammable products such as aerosol sprays are routinely used, one of the following shall apply to fired appliances where these chemicals can enter combustion air:
 - Fired appliances shall be located in a mechanical room separate or partitioned off from other areas with provisions for combustion and dilution air from outdoors.
 - The appliances shall be direct vent and installed in accordance with the appliance manufacturer’s installation instructions.

403.11 – Aluminum flanges now referenced – must conform to ANSI/ASME B16.5

No more using matches or lighters... 406.5.1 Leak detection / gas detectors must now be listed

406.7.3 – Purge those gas lines if abandoning

614.7 – Clothes Dryers require make up air if installed in a closet (100 SF or less)

618.6 – Return air may not be taken from furnace room

623.2 – Removed “designer” exemption for commercial cooktops in dwelling units or where “domestic” cooking occurs

7-12-2: AMENDMENTS:

The 2014 Illinois Plumbing Code, as adopted pursuant to section 7-12-1 of this article, is hereby amended by adding the underlined language and deleting the overstricken language as follows:

Section 890.810 Minimum Number of Plumbing Fixtures

b) Required Restroom Facilities and Drinking Fountains

1) Employee Restrooms and Drinking Fountains

i) If there are more than ~~five~~ ten employees working at any one time, ~~separate restrooms for men and women shall be provided~~ two gender neutral bathrooms must be provided.

ii) ~~If there are no more than five employees working at any time, one restroom may serve both sexes. A restroom shall have a minimum of one water closet and one lavatory. All single stall bathrooms are to be gender-neutral per Illinois Statue and do not require a urinal be installed.~~

Section 890.TABLE B Minimum Number of Plumbing Fixtures

Footnote 8: Food Service Establishments with no more than ~~10~~ 20 combined employees and seats (for patrons) at any one time ~~need not provide public restrooms, provided that the employee restrooms are accessible and made available to the public~~ must have one publicly available gender-neutral bathroom.

Chapter 29 – Plumbing

Chapter 30 – Elevators and Conveying Systems

- 3001.2 – Elevator Emergency Communication Systems: Removed technical details and deferred it to ASME A17.1-2022/CSA B44-22
- 3006.2 & .3 – Addition and modification to Elevator Hoist way door opening protection in regard to fire and smoke
- 3007.6 – Fire access lobby requirement removed for roofs / only applies to buildings over 120'
- 3009.1 – Added in a section for private residence elevators

State Fire Marshall Requirements

- Safety Code for Elevators and Escalators (ASME A17.1 2022) was 2019
- Safety Standard for Platform Lifts and Stairway Chairlifts (ASME A18.1-2023) was 2017
- Standard for the Qualification of Elevator Inspectors (ASME QEI 1-2024) was 2018
- Guide for Inspection of Elevators, Escalators, and Moving Walks (ASME A17.2-2023) was 2017
- Automated People Mover Standards (ANSI/ASCE/T&DI 21-2021) was 2013
- DLM – January 2026 & 2029
 - Elevators permitted for installation after January 1, 2026, will be required to have door lock monitoring at the time of installation.
 - Existing elevators must comply by January 1, 2029.
 - Better start planning now and you might consider full modernization – cheaper to both at once rather than separate, or add on later

Elevator Certificates - VOP

- They must be posted – it can be a copy but...
- Thompson Elevator is doing all inspections and working on having them upload the results
- Certificates are valid for one (1) year that ends either on April 30th or October 31st
- For more contact: elevators@oak-park.us

Chapter 33 – Safeguards During Construction

See VOP Amendments

- Instant Fails
 - No Permit Posted
 - Not having Printed Village Stamped Documents
 - Unsafe Conditions – protection for public, inspectors, ...

Major rewrite to match up with IFC including new section 3302 – Owners Responsibility for Fire Protection
(Required to submit site protection plan for plan review & approval)

Chapter 34 - (Reserved)

In 2012 the Existing Building section was deleted entirely. Now solely regulated by the International Existing Building Code.

- Refer to Village Amendments

- 306.5 Clarifies that when a change of occupancy occurs that INCLUDES an alteration – the alterations only must comply with accessibility requirements
- 306.2, 6, 7 May not reduce accessibility, added language on how means of egress apply to additions (R's) and how accessible routes apply to primary use when dealing with additions, alterations
- 306.7.15 Have we mentioned Adult Changing... (when adding new baths where one is required)
- 308.1 Carbon Monoxide
- Additions see 502.1, 1101, 1102, 1302.13 - Major rewrite and additions
- 502.1 Risk category increase - Clarifies how risk categories should be assigned for structural design where the addition and the existing building have different uses.
- 502.1.2 deals with nonconformity
- 1101.7 Occupiable roofs
- 1102.3 exclusion for fire protection systems when non-occupiable
- 908: Level 3 renovations require ERCES evaluation & compliance (Emergency Responder Communication Enhancement System)
- 1001, 1004, 1011 – Clarifies that one must compare what is existing to what is required by codes now for change of occupancy and meet new requirements to get COO
- 1011.2.1.1 Addition of language allowing for removal of existing sprinkler systems no longer required
- 1502 – Owners Responsibility is added for site safety / see Construction Safeguards

Appendixes

The following appendices have been adopted:

A: Employee Qualifications; E: Supplementary Accessibility Requirements; F: Rodent Proofing;
I: Patio Coverings; J: Grading

Q: Electrification Requirements for All New Buildings

- New Commercial Buildings ONLY designed and constructed:
 - All electric / no fossil fuels allowed except for emergency backup power and for commercial kitchens.
 - HVAC = cold climate air source or ground source heat pumps.
 - ERV's mandatory.
 - A report shall be provided to the building official that verifies all systems related to heating, ventilation, and conditioning systems, lighting controls, and service hot water systems comply with this code prior to final occupancy.
 - All refrigerators, dishwashers and clothes washers shall be Energy Star certified.
 - All cooktops shall be induction types.
 - All cooking ovens shall be electric types.
 - Clothes dryer shall be electric heat pump / condensing style.
 - A minimum of one (1) Level 2 electric vehicle charging station at each onsite parking area shall be installed for every five (5) parking spaces. One charging station may serve an adjacent pair of spaces. Electric vehicle charging stations in Group R-3 and R-4 occupancies are not required.
 - Directly piped exterior gas fire pits and gas cooking grills are prohibited